

**FOR SALE**

**01949 87 86 85**

[www.hammondpropertyservices.com](http://www.hammondpropertyservices.com)

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**4 HACKETT GARDENS, BINGHAM, NOTTINGHAM,  
NOTTINGHAMSHIRE NG13 7BB**

**£280,000**



## 4 HACKETT GARDENS, BINGHAM, NOTTINGHAMSHIRE NG13 7BB

A semi-detached family home completed by Taylor Wimpey Homes to their very popular Gosford design with an enviable position close to the grassed area with a range of play equipment.

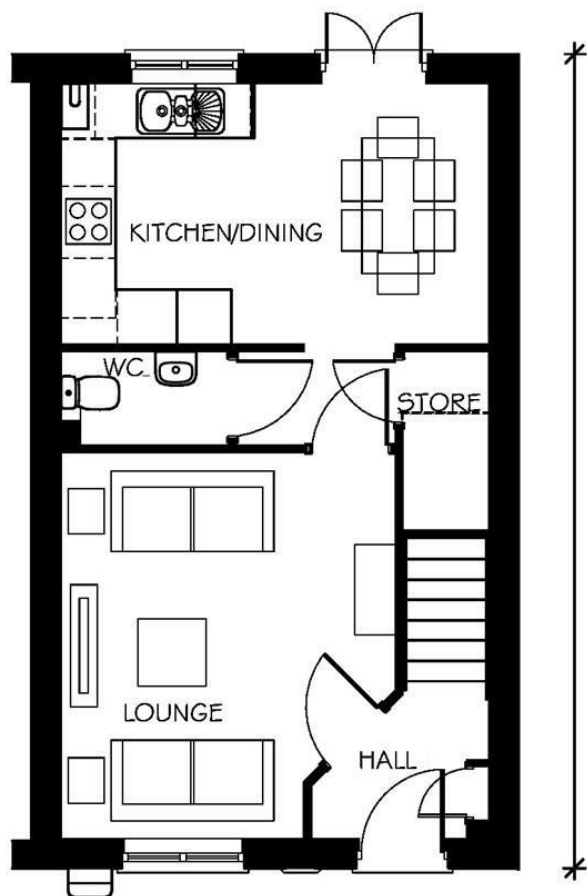
With a hallway, separate lounge, a downstairs cloakroom and a large open plan kitchen / diner to the ground floor, whilst to the first floor is the main bedroom with en-suite shower room and two further bedrooms serviced by the family bathroom. The larger than average and southerly facing rear garden is fully enclosed with off street parking spaces for two vehicles to the side and an electric charging point has been sensibly provided.

Bingham enjoys a wonderful range of supermarkets and independent shops, eateries, coffee house, public houses with a market held every Thursday. There is also a medical centre, pharmacies, dentists, leisure centre and a library. Should a shopping trip to the larger towns be the 'order of the day' Bingham has direct rail links to Nottingham and Grantham and bus routes to Nottingham and the surrounding villages.

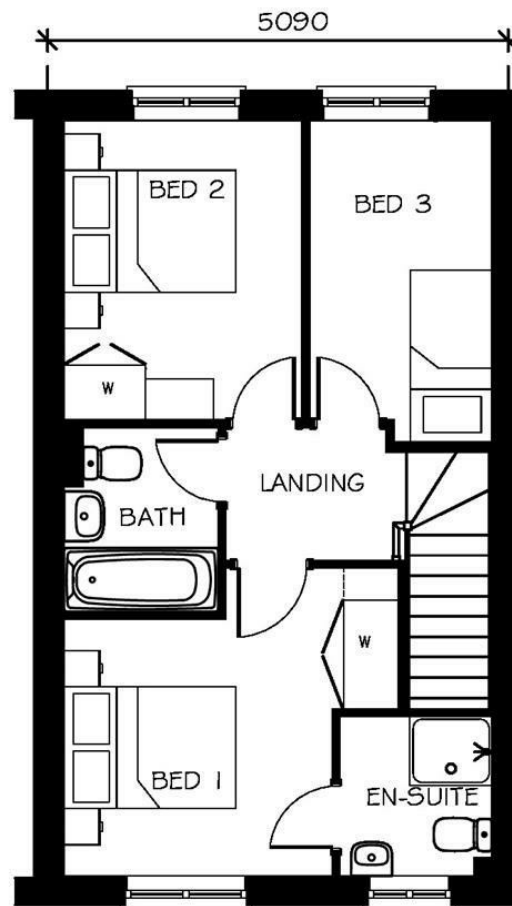
Bingham is on the edge of the renowned Vale of Belvoir which provides endless hours of walks as well as a variety of quaint rural villages, each with their own individual character and many with a village pub! Bingham enjoys a wonderful range of supermarkets and independent shops, eateries, coffee house, public houses with a market held every Thursday. There is also a medical centre, pharmacies, dentists, leisure centre and a library.

There will be a Service Charge of towards the maintenance of the Green Areas of the Development once completed.





GROUND FLOOR PLAN



FIRST FLOOR PLAN

Gross Area 80.5 sq m 866 sq ft

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		96
(81-91) B	84	
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales EU Directive 2002/91/EC		

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales EU Directive 2002/91/EC		

Council Tax Band

C

**DIRECTIONAL NOTE** From our Bingham Office the property may be approached via Newgate Street. At the T junction turn right into Kirkhill. Pass over the railway crossing and pass Lidl on your left hand side. Continue along the road and turn second left, before the Traffic Island, into Burrows Drive and then right again into Hackett Gardens. Follow the round around to the left and this property is then found on the left hand side; clearly denoted by the Hammond Property Services For Sale board.

**For Sat Nav use Post Code: NG13 7BB**



Meet 'Pearl'



After months of fundraising, we have now achieved our Target of £5,000 to enable a Guide Dog Puppy to be named and trained on our behalf... and here she is!

Named 'Pearl', to celebrate our 30th Anniversary, we are proud to say that Puppy Pearl is now with her suitably matched recipient and is making a huge difference in the lifestyle to her new beneficiary.

See all our properties at  
**OnTheMarket.com**



Find us on Facebook

**Hammond Property  
Services Bingham**



Follow us on Twitter

**@HammondProperty**



**Dame Esther Rantzen with Jonathan Hammond at the launch of our Annual Charity Quiz in aid of ChildLine - raising £5,634 in 2024 for this extremely important Charity.**

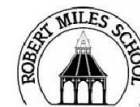
## **BINGHAM'S COMMUNITY ESTATE AGENT**

We are proud to support all of these Organisations from in and around Bingham which help to make this such a wonderful Town and area to live in

**childline**  
ONLINE, ON THE PHONE, ANYTIME  
childline.org.uk | 0800 1111



**B.H.T.A.**  
BINGHAM HERITAGE  
TRAILS ASSOCIATION

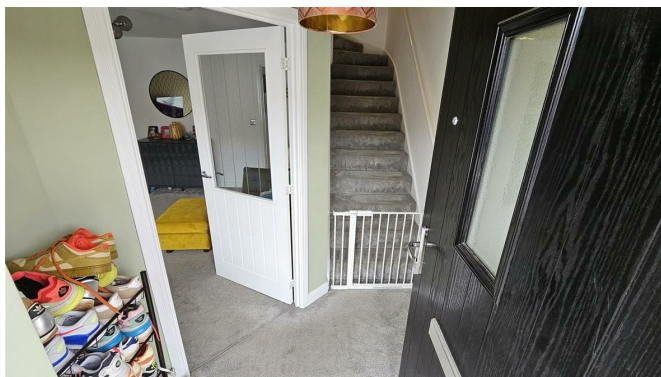


**football  
community**



For more details, email **[sponsorship@hammondpropertyservices.com](mailto:sponsorship@hammondpropertyservices.com)**





Entrance door leads through to  
**RECEPTION HALLWAY**  
 with stairs to the first floor and a door to

**LOUNGE**  
 14'0 x 12'0 (4.27m x 3.66m)  
 with a double glazed window to the front and a  
 central heating radiator.

**INNER HALLWAY**







### **DOWNSTAIRS CLOAKROOM**

Low level flush W.C, pedestal wash hand basin and wood effect flooring.

### **OPEN PLAN KITCHEN / DINING AREA**

15'0 x 9'6 (4.57m x 2.90m)

with oak effect surfaces to three sides with drawers and cupboards under. Wall mounted cupboard units with under lighting. Four ring electric hob with extractor hood over and separate electric double oven. Integrated fridge, freezer and dishwasher. Large inset stainless steel sink unit with swanhead mixer tap. Oak effect flooring.



### **DINING AREA**

with double glazed double doors leading to the rear garden. Central heating radiator and very useful and large under-stairs storage cupboard.







### **LANDING**

From the hallway, stairs rise to the first floor landing with doors to the following;

### **BEDROOM ONE**

9'9 x 9'4 (2.97m x 2.84m)

Double glazed window to the front elevation, a central heating radiator, built-in triple wardrobes.

### **EN-SUITE SHOWER ROOM**

Double glazed window to the front elevation, low level flush W.C., wash hand basin, a shower enclosure.

### **BEDROOM TWO**

11'0 x 8'8 (3.35m x 2.64m)

with a double glazed window to the rear elevation and a central heating radiator.







### **FAMILY BATHROOM**

with a three piece suite comprising a panelled bath with screen and shower over, a low flush W.C. and a wash hand basin.

### **BEDROOM THREE**

11'8 x 6;'7 (3.56m x 1.83m; '2.13m)

Double glazed window to the front elevation and a central heating radiator.

### **OUTSIDE**

To the side of the property is driveway providing off street parking for two vehicles and gated access to the rear garden. To the rear is a further fully enclosed and southerly facing lawned garden

